

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING #20160802002115)

LOT 10, BLOCK 4, AVALON PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 49 OF PLATS, PAGE 64, IN KING COUNTY, WASHINGTON.

BASIS OF BEARINGS

PLAT MERIDIAN—HELD BEARING N 48°18'03" E BETWEEN EXISTING PLAT MONUMENTS AS SHOWN HEREON

REFERENCES

1. RECORD OF SURVEY VOL. 98, PG 157, RECORDING NO. 9406019004
2. PLAT OF AVALON PARK RECORDED IN VOL. 49 OF PLATS, PG. 64-65 IN KING COUNTY WASHINGTON

VERTICAL DATUM

NAVD88 PER GPS OBSERVATIONS

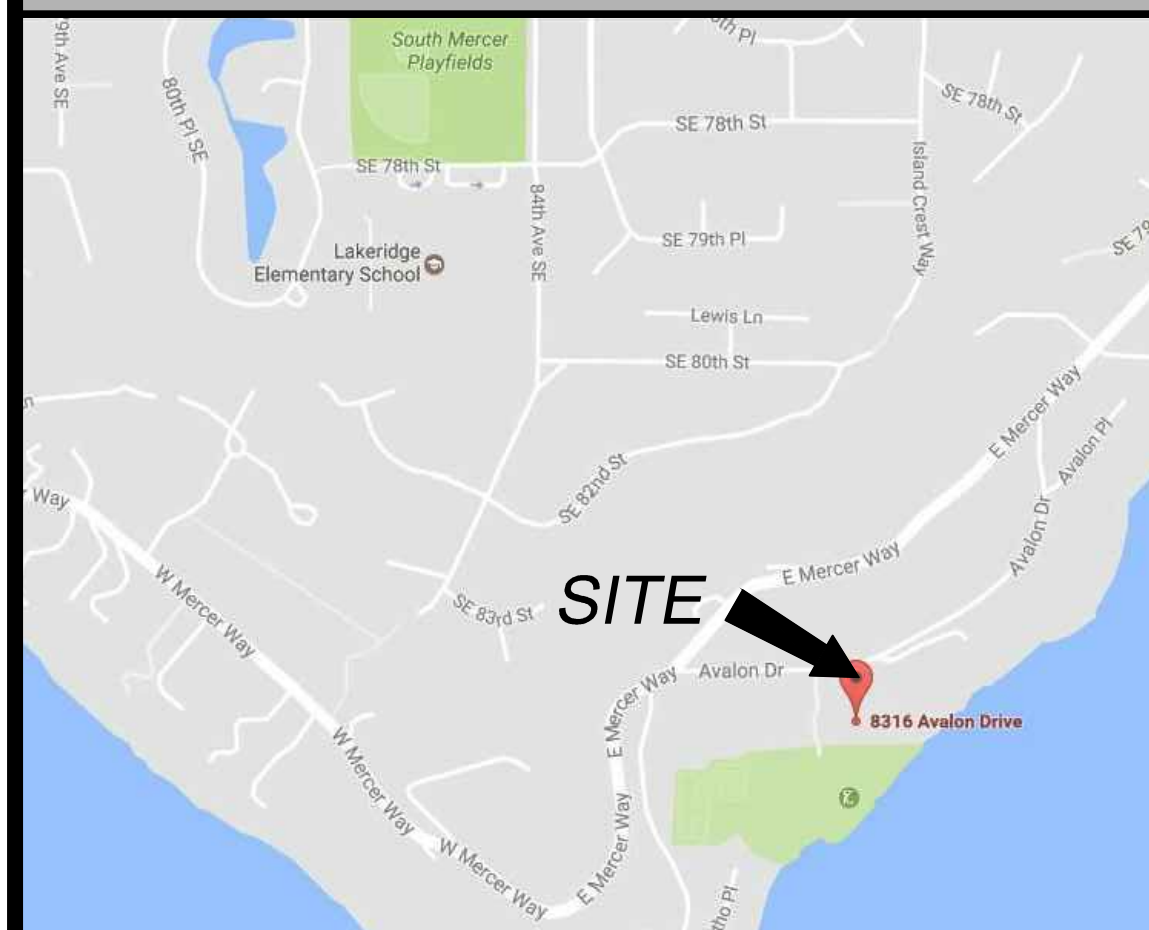
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN DECEMBER OF 2016. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
4. SUBJECT PROPERTY TAX PARCEL NO. 032110-0290
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 18,528± S.F. (0.43± ACRES)— 18,779 PER KING COUNTY ASSESSOR'S
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. INSTRUMENTATION FOR THIS SURVEY WAS A TRIMBLE ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090.

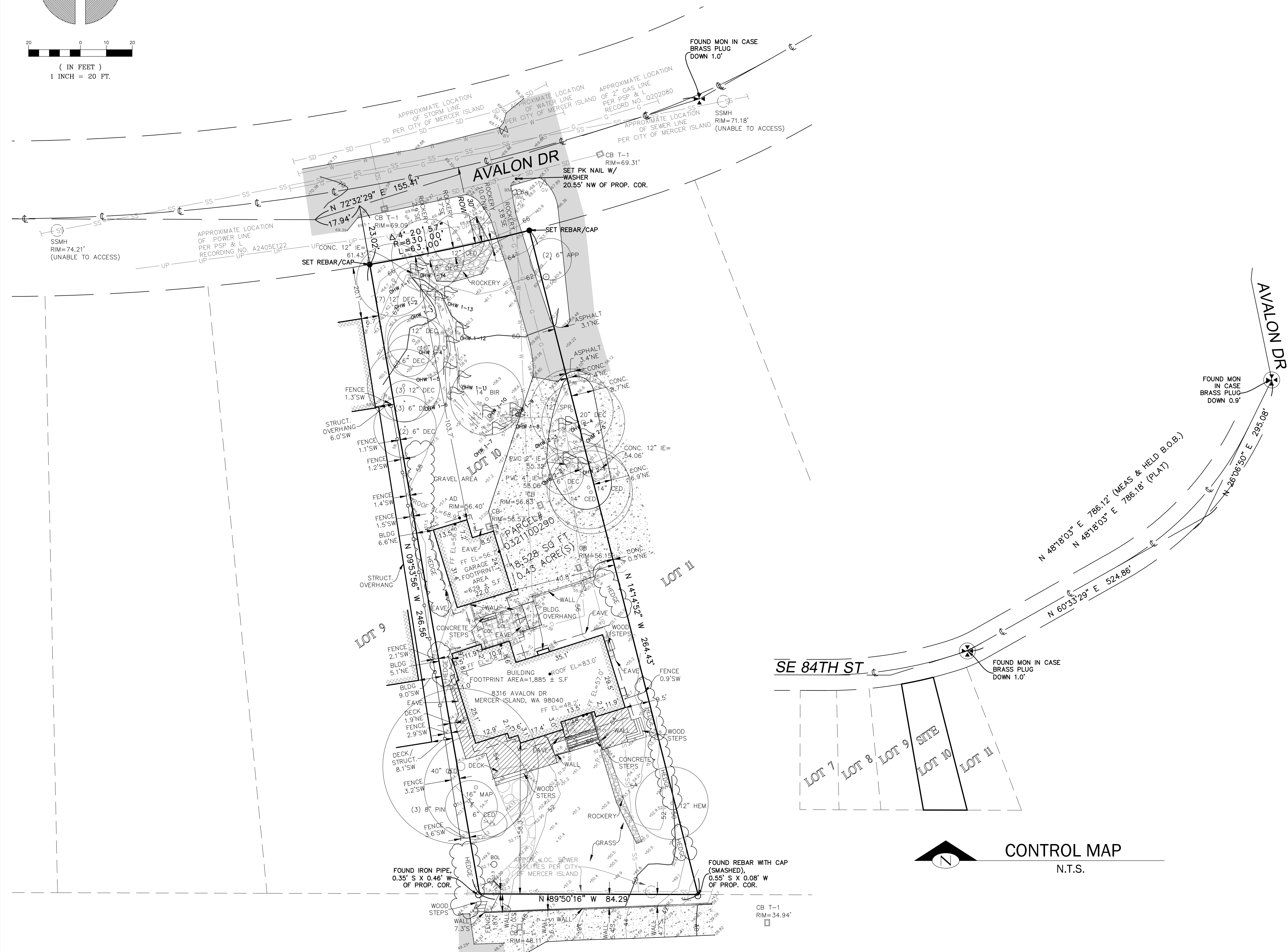
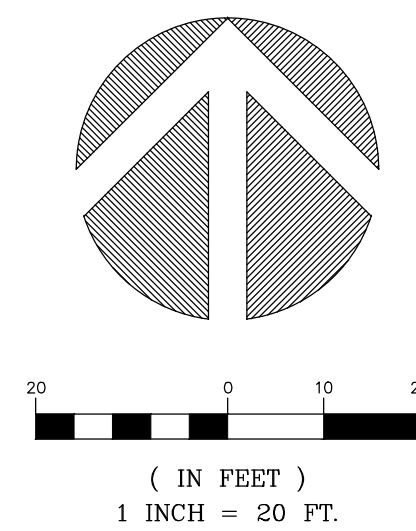
LEGEND

	AREA DRAIN		MONUMENT IN CASE (FOUND)
	ASPHALT SURFACE		PAVER SURFACE
	FLAGSTONE SURFACE		POWER METER
	BOLLARD		POWER LINE (UNDERGROUND)
	BUILDING		AREA DRAIN
	CENTERLINE ROW		REBAR AS NOTED (FOUND)
	CULVERT		REBAR & CAP (SET)
	CONCRETE SURFACE		ROCKERY
	CONCRETE WALL		SEWER LINE
	100 CONTOUR (MAJOR)		SEWER MAINTENANCE
	102 CONTOUR (MINOR)		STORM CATCH BASIN
	DECK		STORM DRAIN LINE
	DITCH (FLOWLINE)		TREE (AS NOTED)
	FENCE LINE (CHAIN LINK)		WATER LINE
	FENCE LINE (WOOD)		WATER METER
	GAS LINE		WATER VALVE
	GAS METER		HOSEBIB
	GAS VALVE		WETLAND FLAG
	GRAVEL SURFACE		HEDGE ROW
	NAIL AS NOTED		

VICINITY MAP
N.T.S.

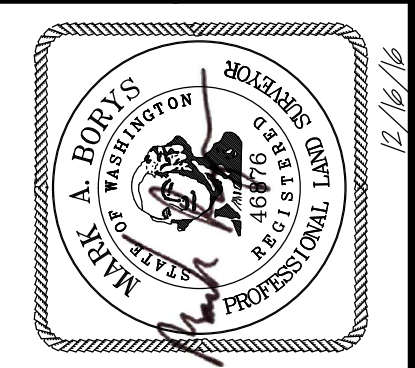


TOPOGRAPHIC & BOUNDARY SURVEY



TOPOGRAPHIC & BOUNDARY SURVEY
NW 1/4 OF NW 1/4 SEC 31, TWP. 24N., RGE 05E., W.M.
PARCEL NO. 0321100290

PLATOU RESIDENCE
8316 AVALON DR
MERCER ISLAND, WA 98040

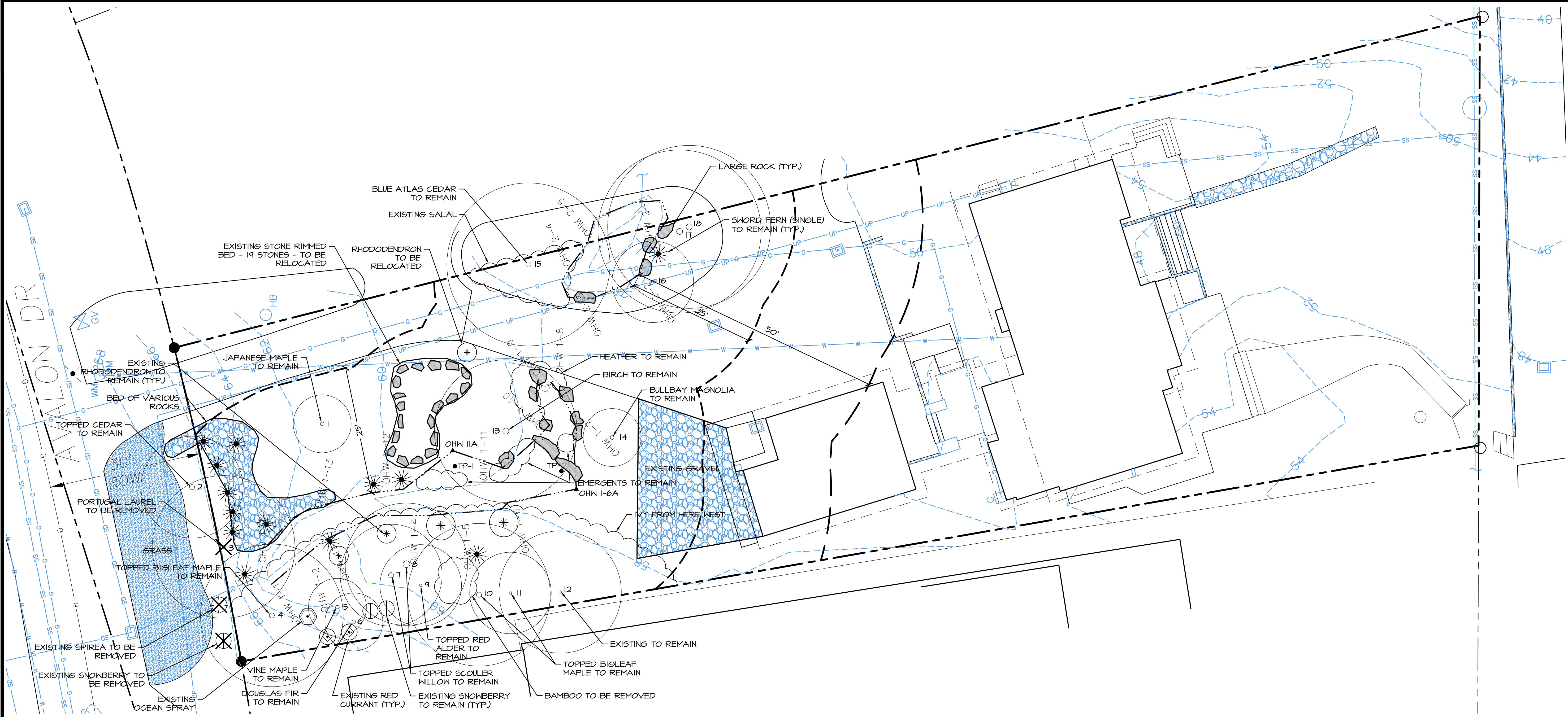


Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4498 support@terrane.net
www.terrane.net

JOB NUMBER:	161490
DATE:	12/16/16
DRAFTED BY:	IDV-PSC
CHECKED BY:	MAB/TMM
SCALE:	1"= 20'
REVISION HISTORY	
SHEET NUMBER	
1 OF 1	

measure success

STREAM BUFFER MITIGATION PLAN
EXISTING CONDITIONS
PLATOU RESIDENCE
8316 AVALON DR.
MERCER ISLAND, WA 98040

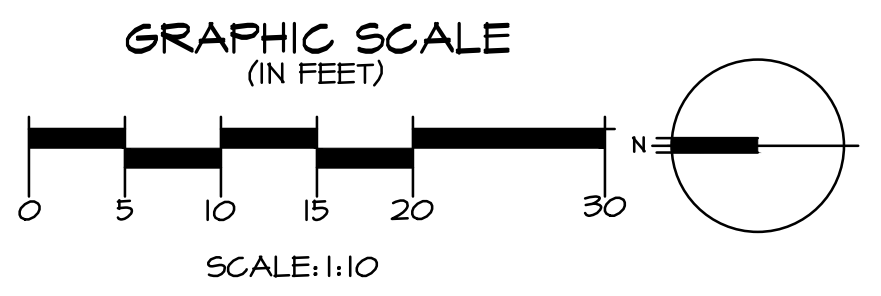


PLAN LEGEND

- PROPERTY LINE
- ORDINARY HIGH WATER LINE OF STREAM
- 50' STANDARD STREAM BUFFER
- 25' REDUCED STREAM BUFFER
- ▲ OHW # REVISED STREAM ORDINARY HIGH WATER FLAG LOCATION
- TP-# SOIL TEST PLOT LOCATION

EXISTING TREE LEGEND

TREE #	SPECIES	DBH (CAL. INCHES)	NOTES	REMAIN	REMOVE
1	JAPANESE MAPLE	WEeping		X	
2	WESTERN RED CEDAR	12"	TOPPED	X	
3	PORTUGAL LAUREL	8"	INVASIVE SPECIES		X
4	BIGLEAF MAPLE	(7) 12"	TOPPED	X	
5	VINE MAPLE	4' TALL		X	
6	DOUGLAS FIR	SEEDLING		X	
7	SCOUler WILLOW	12"	TOPPED	X	
8	SCOUler WILLOW	16"	TOPPED	X	
9	RED ALDER	6"	TOPPED	X	
10	BIGLEAF MAPLE	(3) 12"	TOPPED	X	
11	BIGLEAF MAPLE	(3) 6"	TOPPED	X	
12	DECIDUOUS	(2) 6"		X	
13	BIRCH	14"		X	
14	BULLBAY MAGNOLIA	4" DIAMETER		X	
15	BLUE ATLAS CEDAR	12"		X	
16	DECIDUOUS	6"		X	
17	EXCELSA CEDAR	14"		X	
18	EXCELSA CEDAR	14"		X	

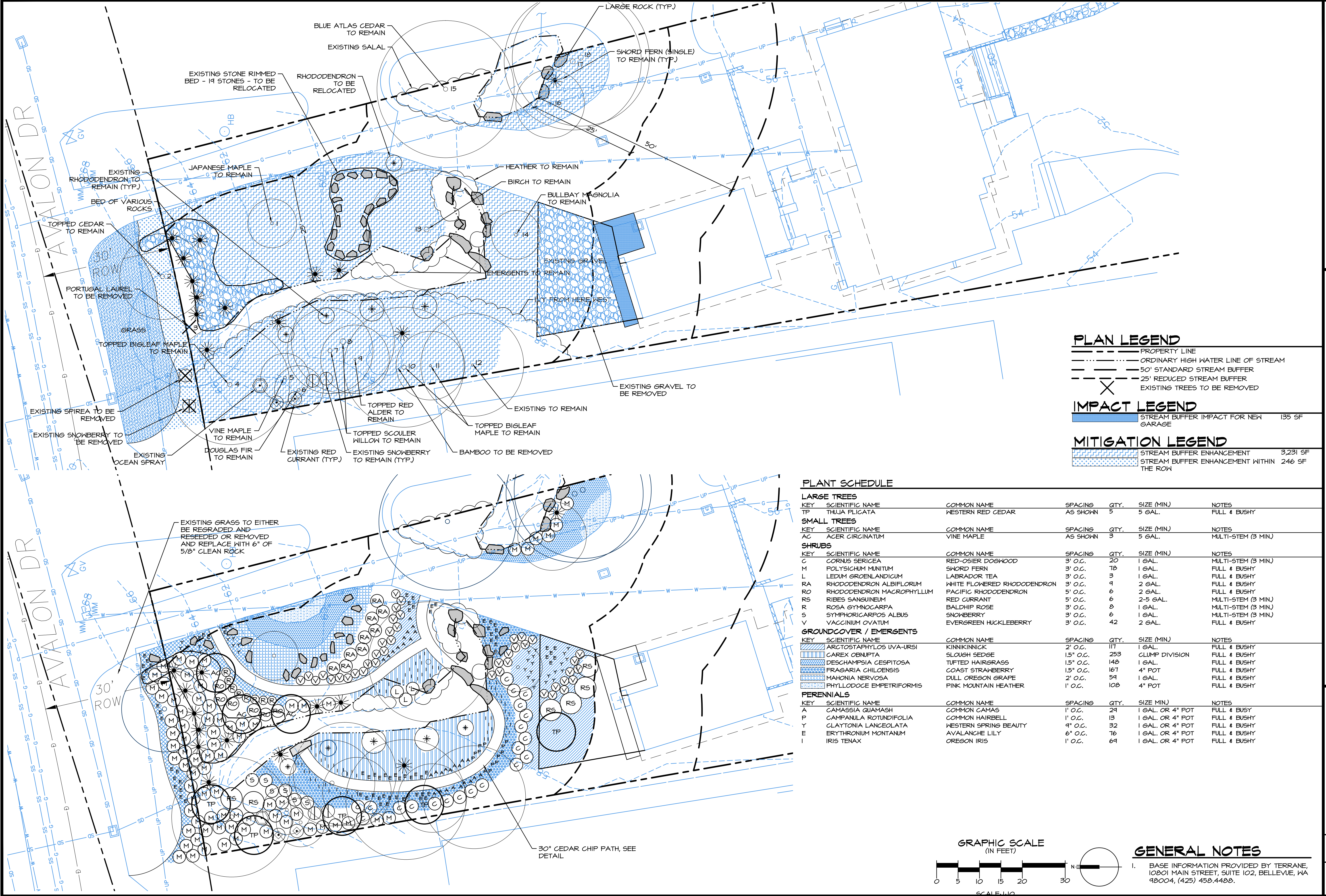


GENERAL NOTES

- BASE INFORMATION PROVIDED BY TERRANE, 10801 MAIN STREET, SUITE 102, BELLEVUE, WA 98004, (425) 458.4488.

Revisions	Date	By
TO KEEP NATIVE TOPPED TREES	05-11-17	SO
PER CITY COMMENTS	06-23-17	SO

Date: 02-14-17
 Scale: AS NOTED
 Project#: 5327



PLAN LEGEND

- PROPERTY LINE
- ORDINARY HIGH WATER LINE OF STREAM
- 50' STANDARD STREAM BUFFER
- 25' REDUCED STREAM BUFFER
- X EXISTING TREES TO BE REMOVED

IMPACT LEGEND

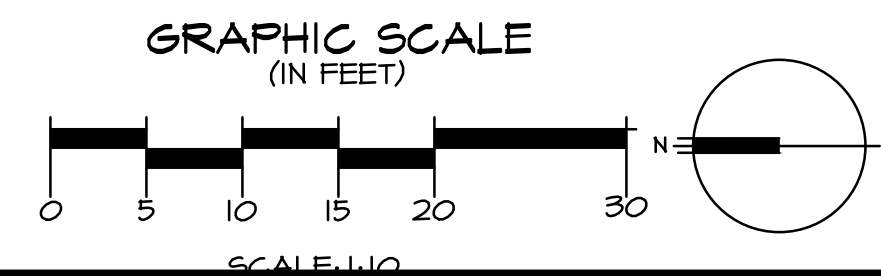
- STREAM BUFFER IMPACT FOR NEW GARAGE 135 SF

MITIGATION LEGEND

- STREAM BUFFER ENHANCEMENT 3,231 SF
- STREAM BUFFER ENHANCEMENT WITHIN THE ROW 246 SF

PLANT SCHEDULE

LARGE TREES						
KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
TP	THUJA PLICATA	WESTERN RED CEDAR	AS SHOWN	5	5 GAL.	FULL & BUSHY
SMALL TREES						
KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
AC	ACER CIRCINATUM	VINE MAPLE	AS SHOWN	3	5 GAL.	MULTI-STEM (3 MIN.)
SHRUBS						
KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
C	CORNUS SERICEA	RED-OSIER DOGWOOD	3' O.C.	20	1 GAL.	MULTI-STEM (3 MIN.)
M	POLYSGIUM MUNITUM	SWORD FERN	3' O.C.	78	1 GAL.	FULL & BUSHY
L	LEDUM GROENLANDICUM	LABRADOR TEA	3' O.C.	3	1 GAL.	FULL & BUSHY
RA	RHODODENDRON ALBIFLORUM	WHITE FLOWERED RHODODENDRON	3' O.C.	4	2 GAL.	FULL & BUSHY
RO	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	5' O.C.	6	2 GAL.	FULL & BUSHY
RS	RIBES SANGUINEUM	RED CURRANT	5' O.C.	6	2-5 GAL.	MULTI-STEM (3 MIN.)
R	ROSA GYMNOCARPA	BALDHIP ROSE	3' O.C.	8	1 GAL.	MULTI-STEM (3 MIN.)
S	SYMPHORICARPOS ALBUS	SNOWBERRY	3' O.C.	6	1 GAL.	MULTI-STEM (3 MIN.)
V	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	3' O.C.	42	2 GAL.	FULL & BUSHY
GROUNDCOVER / EMERGENTS						
KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
A	ARCTOSTAPHYLOS UVA-URSI	KINKINNICK	2' O.C.	117	1 GAL.	FULL & BUSHY
C	CAREX OBNUPTA	SLOUGH SEDGE	15" O.C.	253	CLUMP DIVISION	FULL & BUSHY
D	DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	15" O.C.	148	1 GAL.	FULL & BUSHY
F	FRAGARIA CHILOENSIS	COAST STRAWBERRY	15" O.C.	167	4" POT	FULL & BUSHY
M	MAHONIA NERVOSA	DULL OREGON GRAPE	2' O.C.	59	1 GAL.	FULL & BUSHY
P	PHYLLODOCE EMPETRIFORMIS	PINK MOUNTAIN HEATHER	1' O.C.	108	4" POT	FULL & BUSHY
PERENNIALS						
KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
A	CAMASSIA QUAMASH	COMMON CAMAS	1' O.C.	24	1 GAL. OR 4" POT	FULL & BUSHY
P	CAMPANULA ROTUNDFOLIA	COMMON HAIRBELL	1' O.C.	13	1 GAL. OR 4" POT	FULL & BUSHY
Y	CLAYTONIA LANCEOLATA	WESTERN SPRING BEAUTY	4' O.C.	32	1 GAL. OR 4" POT	FULL & BUSHY
E	ERYTHRONIUM MONTANUM	AVALANCHE LILY	6" O.C.	76	1 GAL. OR 4" POT	FULL & BUSHY
I	IRIS TENAX	OREGON IRIS	1' O.C.	64	1 GAL. OR 4" POT	FULL & BUSHY



GENERAL NOTES

- BASE INFORMATION PROVIDED BY TERRANE, 10801 MAIN STREET, SUITE 102, BELLEVUE, WA 98004, (425) 458.4488.

Revisions

By	Date
TO KEEP NATIVE TOPPED TREES	05-11-17 50
PER CITY COMMENTS	06-23-17 50

CONSTRUCTION SPECIFICATIONS

- CONTRACTOR INFORMATION. WHEN IT IS AVAILABLE, CONTACT INFORMATION SHALL BE PROVIDED TO THE CITY OF MERCER ISLAND THAT INCLUDES NAMES, ADDRESSES, AND PHONE NUMBERS OF PERSONS/FIRMS THAT WILL BE RESPONSIBLE FOR INSTALLING REQUIRED PLANTS AND PERFORMING REQUIRED MAINTENANCE.
- CONTRACTOR'S QUALIFICATIONS. ALL WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR REGISTERED IN THE STATE OF WASHINGTON. CONTRACTOR MUST BE EXPERIENCED IN MITIGATION AND RESTORATION WORK. THE CONTRACTOR SHALL PROVIDE THAT THERE IS ONE PERSON ON THE SITE AT ALL TIMES DURING WORK AND INSTALLATION WHO IS THOROUGHLY FAMILIAR WITH THE TYPE OF MATERIALS BEING INSTALLED AND THE BEST METHODS FOR THEIR INSTALLATION, AND WHO SHALL DIRECT ALL WORK BEING PERFORMED UNDER THESE SPECIFICATIONS. THIS PERSON SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE INSTALLING NATIVE PLANT MATERIALS FOR WETLAND MITIGATION OR RESTORATION PROJECTS, UNLESS OTHERWISE ALLOWED BY THE LANDSCAPE DESIGNER, WETLAND BIOLOGIST AND/OR THE CITY OF MERCER ISLAND.
- TRAIL AND STEPS TO BE FIELD LOCATED BY AOA PRIOR TO CLEARING. LANDSCAPE CONTRACTOR TO VERIFY THE AMOUNT OF STEPS AND WALLS BASED ON ACTUAL GRADES (PLAN IS APPROXIMATE ONLY).
- ALL PLANTS SHOULD BE INSTALLED BETWEEN DECEMBER 1ST AND MARCH 15TH, UNLESS SUPPLEMENTAL IRRIGATION IS PROVIDED.
- INTERMEDIATE INSPECTIONS. ALL PLANTS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE DESIGNER AND/OR WETLAND BIOLOGIST PRIOR TO INSTALLATION. CONDITION OF ROOTS OF A RANDOM SAMPLE OF PLANTS WILL BE INSPECTED, AS WELL AS ALL ABOVEGROUND GROWTH ON ALL PLANTS. ROOTS OF ANY BARE ROOT PLANTS, IF PERMITTED FOR USE, WILL BE INSPECTED. PLANT MATERIAL MAY BE APPROVED AT THE SOURCE, AT THE DISCRETION OF THE LANDSCAPE DESIGNER AND THE WETLAND BIOLOGIST, BUT ALL MATERIAL MUST BE RE-INSPECTED AND APPROVED ON THE SITE PRIOR TO INSTALLATION. PLANT LOCATIONS SHALL ALSO BE INSPECTED AND APPROVED PRIOR TO PLANTING.
- PRIOR TO INSTALLATION OF PLANT MATERIAL, THE PLANTING AREAS WILL BE LAID OUT BASED ON THE PLANTING PLAN, AND ALL HIMALAYAN BLACKBERRY, ENGLISH IVY OR OTHER INVASIVE PLANT SPECIES LOCATED IN THE PLANTING AREAS WILL BE REMOVED BY HAND. NO HERBICIDES OR PESTICIDES SHOULD BE USED WITHIN THE ENHANCEMENT AREA. AOA SHALL REVIEW INVASIVE REMOVAL PRIOR TO PLANTING.
- ALL PLANTS SHALL BE PIT-PLANTED IN PLANTING PITS EXCAVATED 2X THE DIAMETER OF THE PLANT. PITS SHALL BE BACKFILLED WITH A 30/70 MIX OF STEERCO TO NATIVE SOIL. PITS SHALL BE AMENDED WITH A HYDRATED SOIL POLYMER (INSTALLED AT RATES PER MANUFACTURER'S SPECIFICATIONS). PLANTS SHALL BE INSTALLED 3" HIGH AND SURFACED MULCHED TO A DEPTH OF 3" WITH PACIFIC GARDEN MULCH PLACED CONTINUOUSLY THROUGHOUT THE PLANTING BED.
- ON STEEP SLOPES, 1/2" BIODERADABLE JUTE MESH SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS UPON COMPLETION OF INVASIVE REMOVAL AND INSTALLATION OF TREES AND PRIOR TO INSTALLATION OF SHRUBS AND GROUNDCOVER. THESE PLANTS SHALL BE INSTALLED THROUGH THE MESH BY CUTTING A LARGE X AT EACH PLANT LOCATION. AOA TO REVIEW PLANT LAYOUT PRIOR TO INSTALLATION. PACIFIC GARDEN MULCH SHALL BE PLACED OVER JUTE.
- ALL PLANTS SHALL BE NURSERY GROWN (IN WESTERN WA OR OR) FOR AT LEAST 1 YEAR FROM PURCHASE DATE, FREE FROM DISEASE OR PESTS, WELL-ROOTED, BUT NOT ROOT-BOUND AND TRUE TO SPECIES.
- PLANT LAYOUT SHALL BE APPROVED BY AOA PRIOR TO INSTALLATION AND APPROVED UPON COMPLETION OF PLANTING.
- UPON COMPLETION OF PLANTING, ALL PLANTS SHALL BE THOROUGHLY WATERED.
- UPON APPROVAL OF PLANTING INSTALLATION BY AOA, THE CITY OF MERCER ISLAND WILL BE NOTIFIED TO CONDUCT A SITE REVIEW FOR FINAL APPROVAL OF CONSTRUCTION.
- MAINTENANCE SHALL BE REQUIRED IN ACCORDANCE WITH THE CITY OF MERCER ISLAND SENSITIVE AREAS MITIGATION GUIDELINES AND APPROVED PLANS.
- ALL PLANTS SHALL BE HAND-WATERED, AS NECESSARY DURING THE FIRST TWO DRY SEASONS. BETWEEN JUNE 15 - OCTOBER 31. FLOW SHOULD ENSURE COMPLETE SATURATION OF THE ROOT ZONE.
- MAINTENANCE SHALL BE IMPLEMENTED ON A REGULAR BASIS ACCORDING TO THE SCHEDULE BELOW.

ANNUAL MAINTENANCE SCHEDULE

MAINTENANCE ITEM	J	F	M	A	M	J	J	A	S	O	N	D
WATERING - YEARS 1							1-2					
WEED CONTROL												
GENERAL MAINT.												

1-2 = NUMBER OF TIMES TASK SHALL BE PERFORMED PER MONTH.

MAINTENANCE & MONITORING PLAN

1.0 PROPOSED BUFFER MITIGATION

Due to the degraded condition of the existing buffer, the proposed project would utilize mitigation option 19.07.070.B.2.b.ii to allow for a buffer reduction from 50 to 25 feet minimum to accommodate the minor expansion. Under the proposed project, all of the degraded vegetated portions of the watercourse buffer would be enhanced by the removal of invasive weeds and re-planting a variety of native tree, shrub, and groundcover species.

As part of the enhancement measures, a small, 30" wide cedar chip path is proposed to be located in the buffer for maintenance access to the plantings and passive access to the stream by the property owners. A rock bridge already exists and will be used for trail access across the stream. Allowing the property owners specific access points into the buffer allows better success of maintenance of the plantings overtime, ease in invasive removal and creates a connection to the stream as a part of the larger property thus increasing stewardship of the stream and the buffer.

The proposed plantings have been designed to increase the plant species and structural diversity within the buffer and to provide physical and visual screening to the watercourse from the residence. Increasing the plant species and structural diversity within the buffer would also increase the wildlife habitat of the area over current conditions.

1.1 Goal, Objective, and Performance Standard for Enhancement Area

The primary goal of the enhancement plan is to restore the watercourse buffer with native vegetation. To meet this goal, the following objectives and performance standards have been incorporated into the design of the plan:

Objective A: Increase the structural and plant species diversity within the enhancement area.

Performance Standard: At the end of the five-year monitoring period, the enhancement area will contain at least fifteen native plant species. In addition, there will be 100% survival of all woody planted species throughout the enhancement area at the end of the first year of planting. Following Years 2 through 5, success will be based on an 80% survival rate.

Objective B: Limit the amount of invasive and exotic species within the enhancement area.

Performance Standard: After installation and at the end of the fifth year after planting, exotic and invasive plant species will be maintained at levels below 10% total cover in all planted areas. These species include, but are not limited to, Himalayan and evergreen blackberry, reed canarygrass, purple loosestrife, morning glory, Japanese knotweed, English ivy, hedge bindweed, English holly, and creeping nightshade.

1.2 Monitoring Methodology

The monitoring program will be conducted for a period of five years, with annual reports submitted to the City of Mercer Island.

Photo-points will be established from which photographs will be taken throughout the monitoring period. These photographs will document general appearance and progress in plant community establishment in the enhancement area. Review of the photos over time will provide a visual representation of success of the plan.

2.0 MAINTENANCE PLAN

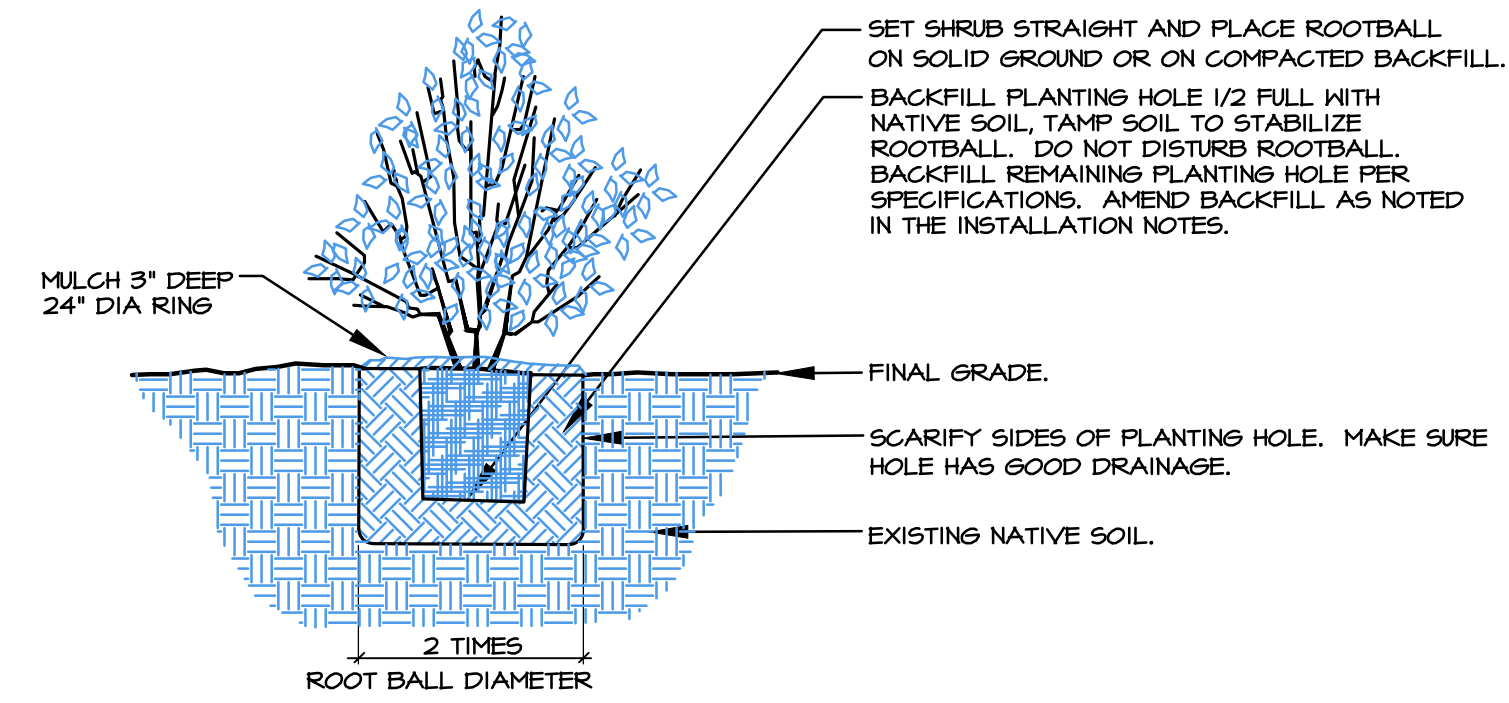
Maintenance will be conducted on a routine, year round basis. Additional maintenance needs will be identified and addressed following a twice-yearly maintenance review. Contingency measures and remedial action on the site shall be implemented on an as-needed basis at the direction of the consultant or the owner. Tall grasses and weeds shall be removed at the base of plants to prevent entanglement. Weed control should be performed by hand removal.

3.0 CONTINGENCY PLAN

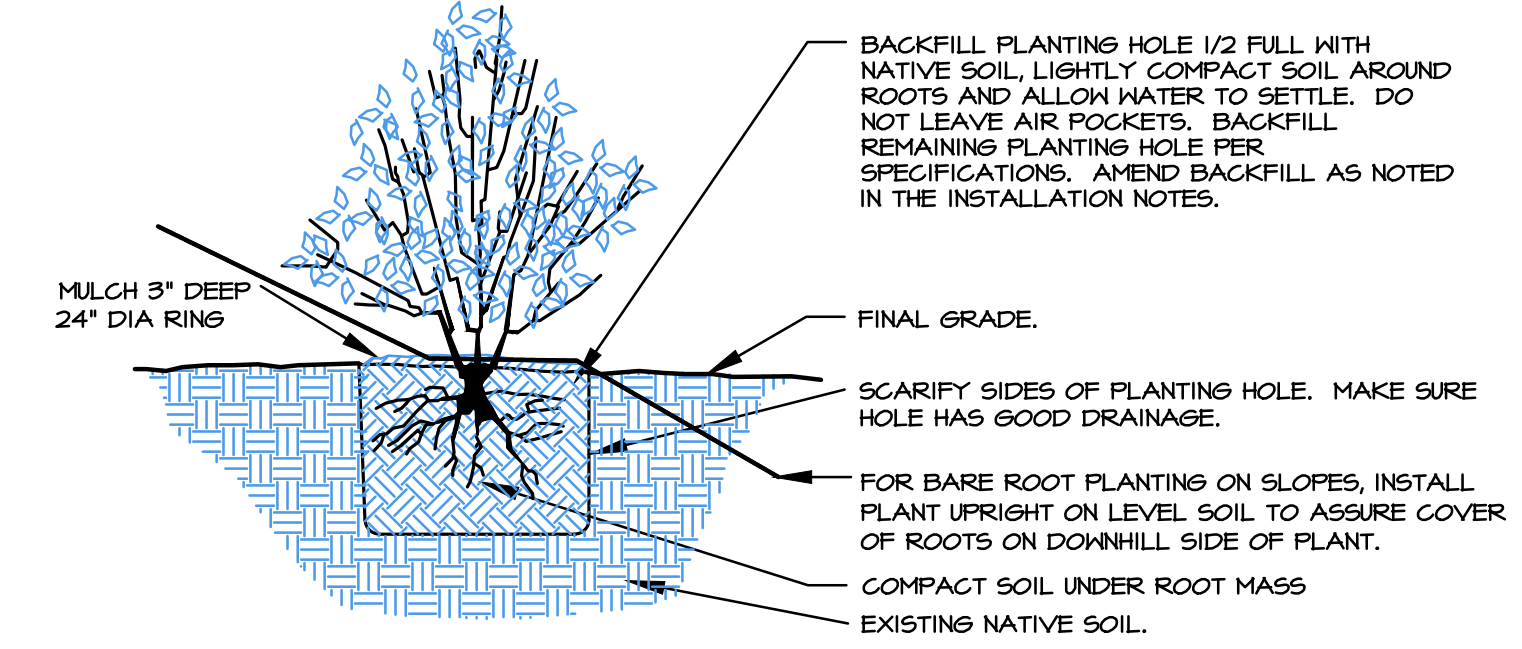
All dead plants will be replaced with the same species or an approved substitute species that meets the goal of the enhancement plan. Plant material shall meet the same specifications as originally-installed material. Replanting will not occur until after reason for failure has been identified (e.g., moisture regime, poor plant stock, disease, shade/sun conditions, wildlife damage, etc.). Replanting shall be completed under the direction of the consultant, City of Mercer Island, or the owner.

4.0 AS-BUILT PLAN

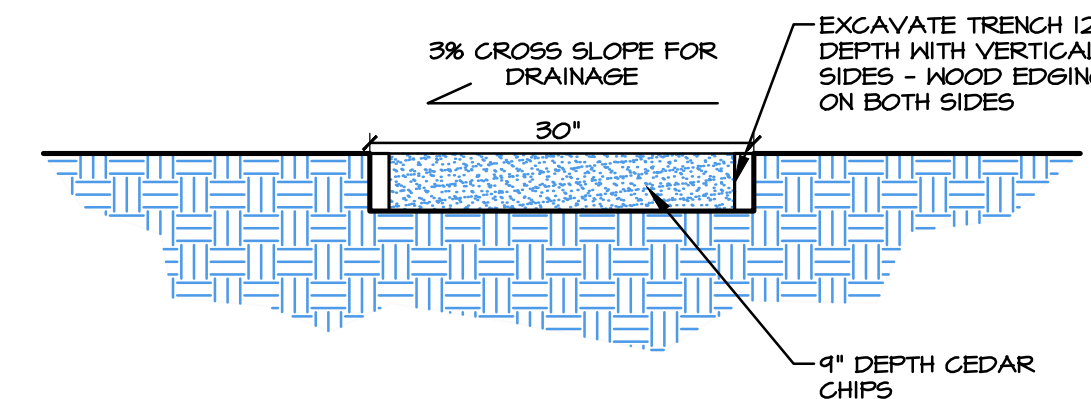
Following completion of construction activities, an as-built plan for the enhancement area will be provided to the City of Mercer Island. The plan will identify and describe any changes in relation to the original approved plan.



1 CONTAINER PLANTING DETAIL (TYP.)
SCALE: NTS



2 BARE-ROOT PLANTING DETAIL (TYP.)
SCALE: NTS



3 CEDAR CHIP TRAIL DETAIL
SCALE: NTS



Altmann Oliver Associates, LLC
Office (425) 333-4535 Fax (425) 333-4509
PO Box 378 Camanion, WA 98014

**STREAM BUFFER MITIGATION PLAN
SPECIFICATIONS & DETAILS
PLATOU RESIDENCE
8816 AVALON DR.
MERCER ISLAND, WA 98040**

Revisions	Date	By
TO KEEP NATIVE TOPPED TREES	05-11-17	SO
PER CITY COMMENTS	06-23-17	SO

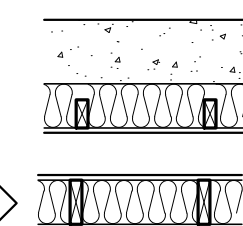
Date: 02-14-17
Scale: AS NOTED
Project#: 5327

Sheet # **N-3**

WALL PARTITION TYPES:

N.T.S. (SEE STRUCTURAL SHEETS FOR SHEARWALLS.)

- TYPICAL EXTERIOR WALL
EXTERIOR WALL FINISH OF (2) LAYERS 60W BLDG. PAPER OF 1/2" CDX PLYWOOD OF 2x6 WOOD STUDS AT 16" O.C. W/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION EXCEPT AROUND GARAGE.
- TYPICAL INTERIOR PARTITION
U.N.O. ALL INTERIOR WALL SHALL BE 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GYPSUM WALLBOARD EACH SIDE.



TYPICAL FURRED WALL
2" AIRSPACE, 2x4 P.T. WOOD STUDS @ 16" O.C. W/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION.

1HR. FIRE RATED WALL
5/8" THK GWB, TYPE 'X' OI 2X6 WD STUDS @ 16" O.C. PANELS NAILED 7" O.C. - 1 7/8" CEM CTD NAILS - JOINTS EXP OR FIN - PERIM CAULKED - UL DES U305 & U314 - JOINTS FIN

ABBREVIATIONS:

- ALUM ALUMINUM
- MC METAL CLAD
- PRE-FIN PRE-FINISHED
- PNT PAINTED
- SCW SOLID CORE WOOD
- WD WOOD

SCHEDULE NOTES:

- 1) CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
- 2) ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
- 3) ALL OPERABLE WINDOWS TO HAVE SCREENS.
- 4) GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATION & EGRESS WINDOWS.
- 5) 2015 WSEC & VIA RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE AT A1.0 SHEET FOR DETAILS.

WINDOW SCHEDULE

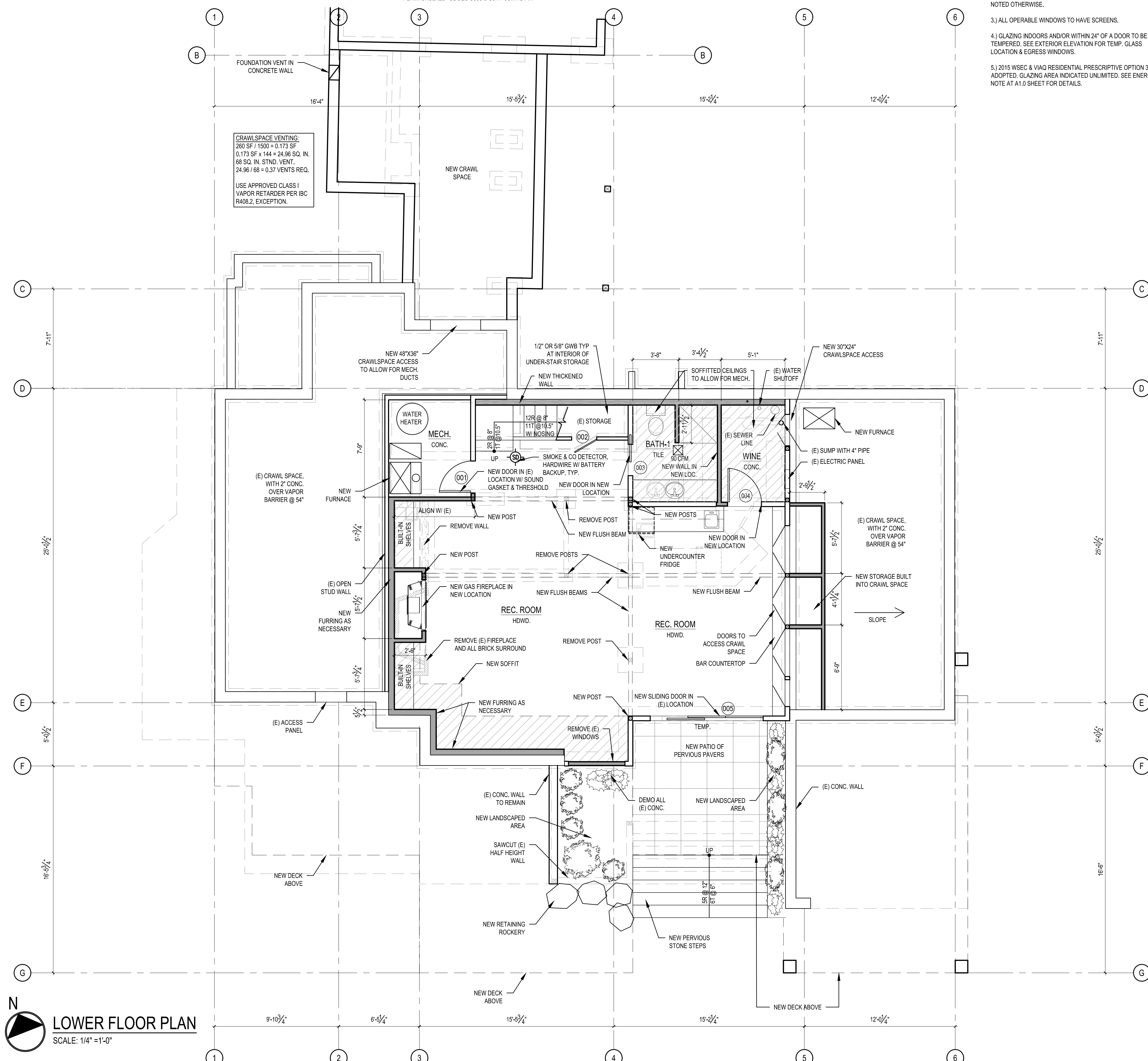
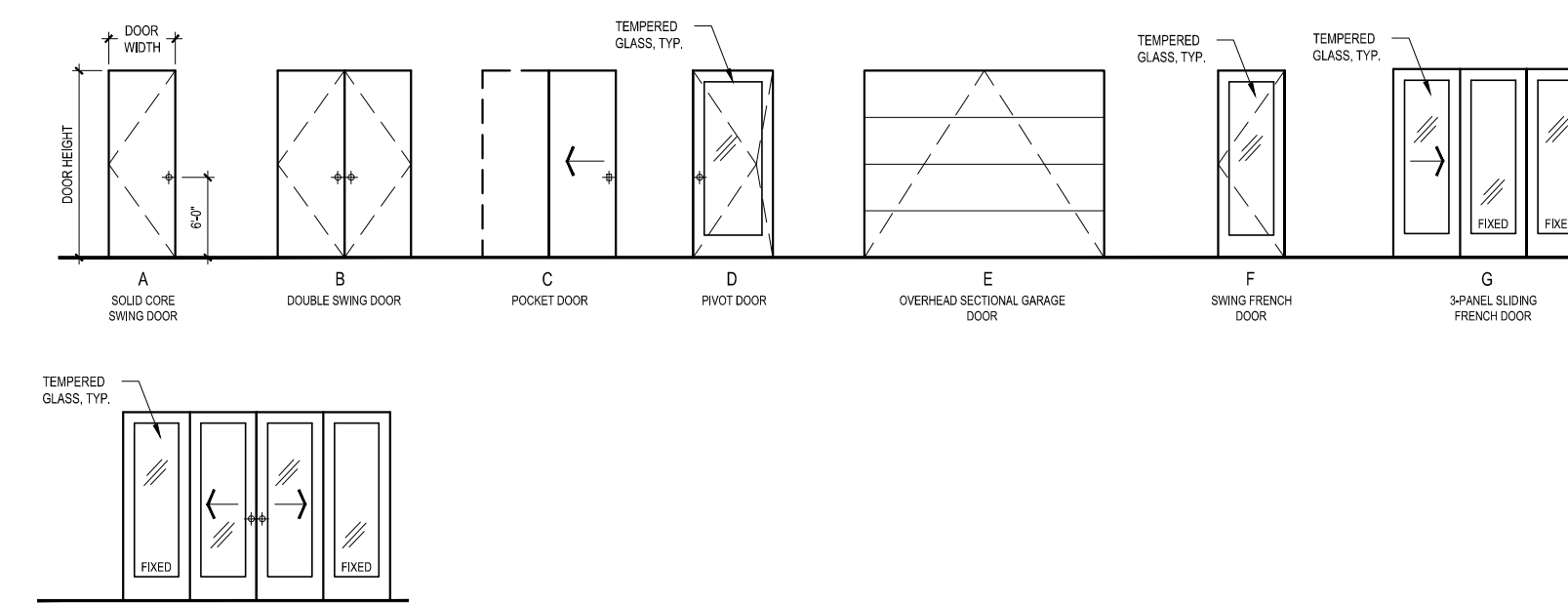
WINDOW MARK	DESCRIPTION	R.O. SIZE		TEMP.	QTY.	TOTAL AREA (SF)	U-VALUE (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	CASEMENT	2'-6"	2'-8"	-	1	.30	LOW E / CLEAR	-	TEMPERED, NEW IN (E) LOC
B	FIXED	3'-9-1/2"	7'-7-1/2"	Y	2	.30	LOW E / CLEAR	-	TEMPERED, NEW IN (E) LOC
C	FIXED	2'-3"	2'-4"	-	6	.30	LOW E / CLEAR	-	NEW IN (E) LOC
D	CASEMENT	3'-0"	2'-6"	-	2	.30	LOW E / CLEAR	-	WINDOWS GANGED TOGETHER
E	SLIDER	8'-0"	2'-2"	-	1	.30	LOW E / CLEAR	-	-
F	FIXED	4'-6"	3'-2"	Y	1	.30	LOW E / CLEAR	-	TEMPERED, PATTERNED GLASS
G	CASEMENT	3'-0"	3'-8"	-	2	.30	LOW E / CLEAR	-	WINDOWS GANGED TOGETHER
H	CASEMENT	2'-7"	4'-6"	-	1	.30	LOW E / CLEAR	-	NEW IN (E) LOC
I	CASEMENT ASSEMBLY	2'-6"	6'-2"	-	4	.30	LOW E / CLEAR	-	TEMPERED, WINDOWS GANGED TOGETHER
J	CASEMENT	2'-6"	3'-2"	Y	1	.30	LOW E / CLEAR	-	TEMPERED, OBSCURED GLASS
K	CASEMENT	3'-0"	3'-8"	-	4	.30	LOW E / CLEAR	-	WINDOWS GANGED TOGETHER
K1	FIXED	3'-0"	3'-8"	-	1	.30	LOW E / CLEAR	-	WINDOWS GANGED TOGETHER
L	CASEMENT ASSEMBLY	2'-9"	5'-2"	-	2	.30	LOW E / CLEAR	-	WINDOWS GANGED TOGETHER
M	FIXED ASSEMBLY	5'-0"	5'-2"	-	1	.30	LOW E / CLEAR	-	-
N	FIXED	3'-11-5/8"	4'-2"	-	8	.30	LOW E / CLEAR	-	WINDOWS GANGED TOGETHER
O	CASEMENT ASSEMBLY	2'-0"	3'-8"	-	4	.30	LOW E / CLEAR	-	WINDOWS GANGED TOGETHER
P	FIXED	4'-0"	3'-8"	-	2	.30	LOW E / CLEAR	-	WINDOWS GANGED TOGETHER
Q	CASEMENT ASSEMBLY	2'-0"	3'-8-1/2"	Y	2	.30	LOW E / CLEAR	-	TEMPERED, NEW IN (E) LOC
R	FIXED ASSEMBLY	4'-5"	3'-8-1/2"	Y	1	.30	LOW E / CLEAR	-	TEMPERED, NEW IN (E) LOC
S	NOT USED								
T	FIXED	2'-6"	5'-0"	-	1	.30	LOW E / CLEAR	-	-
U	NOT USED								
V	FIXED	6'-0"	2'-0"	-	1	.30	LOW E / CLEAR	-	-
W	NOT USED								
X	FIXED	5'-0"	2'-0"	-	1	.30	LOW E / CLEAR	-	-

DOOR SCHEDULE

DOOR NO.	LOCATION	SIZE		DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	DOOR HDWR.	REMARKS
		WIDTH	HEIGHT							
001	MECHANICAL	2'-6"	6'-8"	A	-	-	1-3/4"	-	-	SOUND GASKET
002	STORAGE	2'-0"	6'-8"	A	-	-	1-3/4"	-	-	NEW IN (E) LOCATION
003	BATH-1	2'-6"	6'-8"	C	-	-	1-3/4"	-	-	NEW POCKET IN (E) LOCATION
004	WINE ROOM	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	NEW IN (E) LOCATION
005	REC ROOM	9'-0"	6'-8"	G	Y	-	1-3/4"	.30	-	TEMPERED

DOOR NO.	LOCATION	SIZE		DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	DOOR HDWR.	REMARKS
		WIDTH	HEIGHT							
101	ENTRY	5'-0"	8'-0"	D	Y	-	1-3/4"	.30	-	TEMPERED, PIVOT
102	BATH-3	2'-6"	8'-0"	A	-	-	1-3/4"	-	-	NEW IN (E) LOCATION
103	BATH-2	PR 1'-4"	8'-0"	B	-	-	1-3/4"	-	-	NEW IN (E) LOCATION
104	PANTRY	2'-8"	8'-0"	A	-	-	1-3/4"	-	-	-
105	(E) LAUNDRY	2'-8"	8'-0"	A	-	-	1-3/4"	-	-	-
106	(E) LAUNDRY	2'-8"	6'-8"	F	Y	-	1-3/4"	.30	-	TEMPERED, IN (E) LOCATION
107	DINING	11'-10-5/8"	7'-2-1/2"	H	Y	-	1-3/4"	.30	-	TEMPERED, DOUBLE SLIDER
108	LIVING	15'-10-5/8"	7'-2-1/2"	H	Y	-	1-3/4"	.30	-	TEMPERED, DOUBLE SLIDER
109	BED/ OFFICE	9'-0"	6'-8"	G	Y	-	1-3/4"	.30	-	TEMPERED
110	BED/ OFFICE CLOSET	PR 2'-0"	6'-8"	B	-	-	1-3/4"	-	-	-
111	BED/ OFFICE	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	-
112	BATH 2	2'-8"	6'-8"	C	-	-	1-3/4"	-	-	POCKET
113	BATH 2	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	-
114	BEDROOM 1	2'-8"	6'-8"	B	-	-	1-3/4"	-	-	-
115	CLOSET 1	PR 2'-0"	6'-8"	B	-	-	1-3/4"	-	-	NEW IN (E) LOCATION
116	MUDROOM	PR 2'-10"	6'-8"	C	-	-	1-3/4"	-	-	POCKET
117	MUDROOM	2'-10"	6'-8"	A	-	-	1-3/4"	.30	-	20 MIN GASKETED FIRE RATED DOOR
118	GARAGE	18'-0"	8'-0"	E	-	-	1-3/4"	-	-	OVERHEAD DOOR
119	GARAGE	9'-0"	8'-0"	E	-	-	1-3/4"	-	-	OVERHEAD DOOR

DOOR NO.	LOCATION	SIZE		DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	DOOR HDWR.	REMARKS
		WIDTH	HEIGHT							
201	HALL CLOSET	PR 3'-0"	6'-8"	B	-	-	1-3/4"	-	-	-
202	HALL LAUNDRY	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	-
203	BATH-4	2'-6"	6'-8"	A	-	-	1-3/4"	-	-	-
204	BEDROOM-2	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	-
205	NEW OFFICE	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	NEW IN (E) LOCATION
206	MASTER BEDROOM	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	-
207	MASTER CLOSET	2'-8"	6'-8"	C	-	-	1-3/4"	-	-	POCKET
208	MASTER BATH	2'-8"	6'-8"	C	-	-	1-3/4"	-	-	POCKET
209	MASTER BATH CLOSET	2'-8"	6'-8"	C	-	-	1-3/4"	-	-	POCKET
210	MASTER BATH WC	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	-
211	NEW BONUS ROOM	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	-
212	NEW BATH 5	2'-8"	6'-8"	A	-	-	1-3/4"	-	-	-
213										



LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

STURMAN ARCHITECTS
TEL (425) 451-7003
9 103rd Avenue NE Suite 203 Bellevue, WA 98004

REGISTERED ARCHITECT
BRADLEY J. STURMAN
STATE OF WASHINGTON

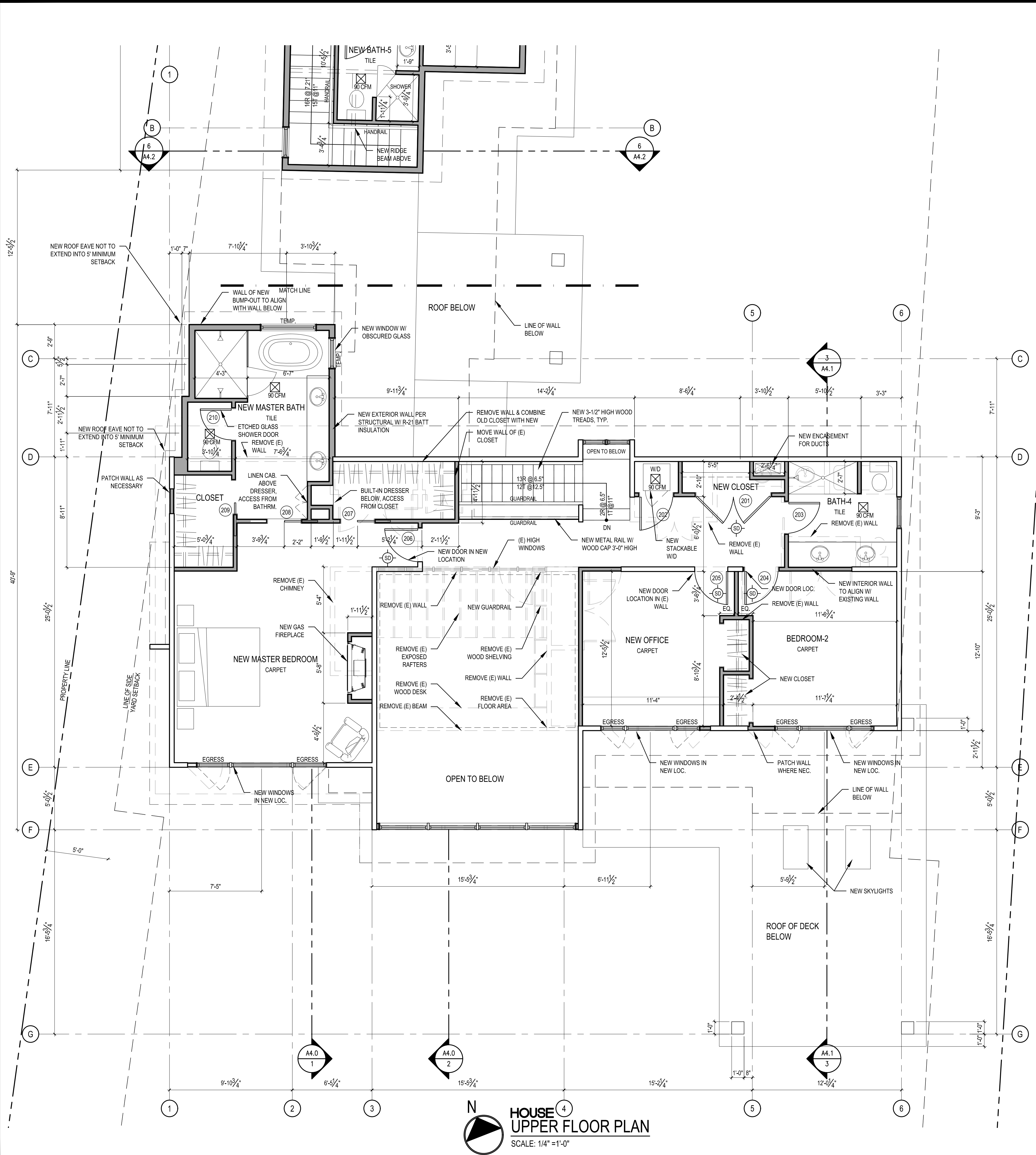
PLATOU RESIDENCE PERMIT SET
8316 AVALON DRIVE
MERCER ISLAND, WA 98040

LOWER FLOOR PLAN

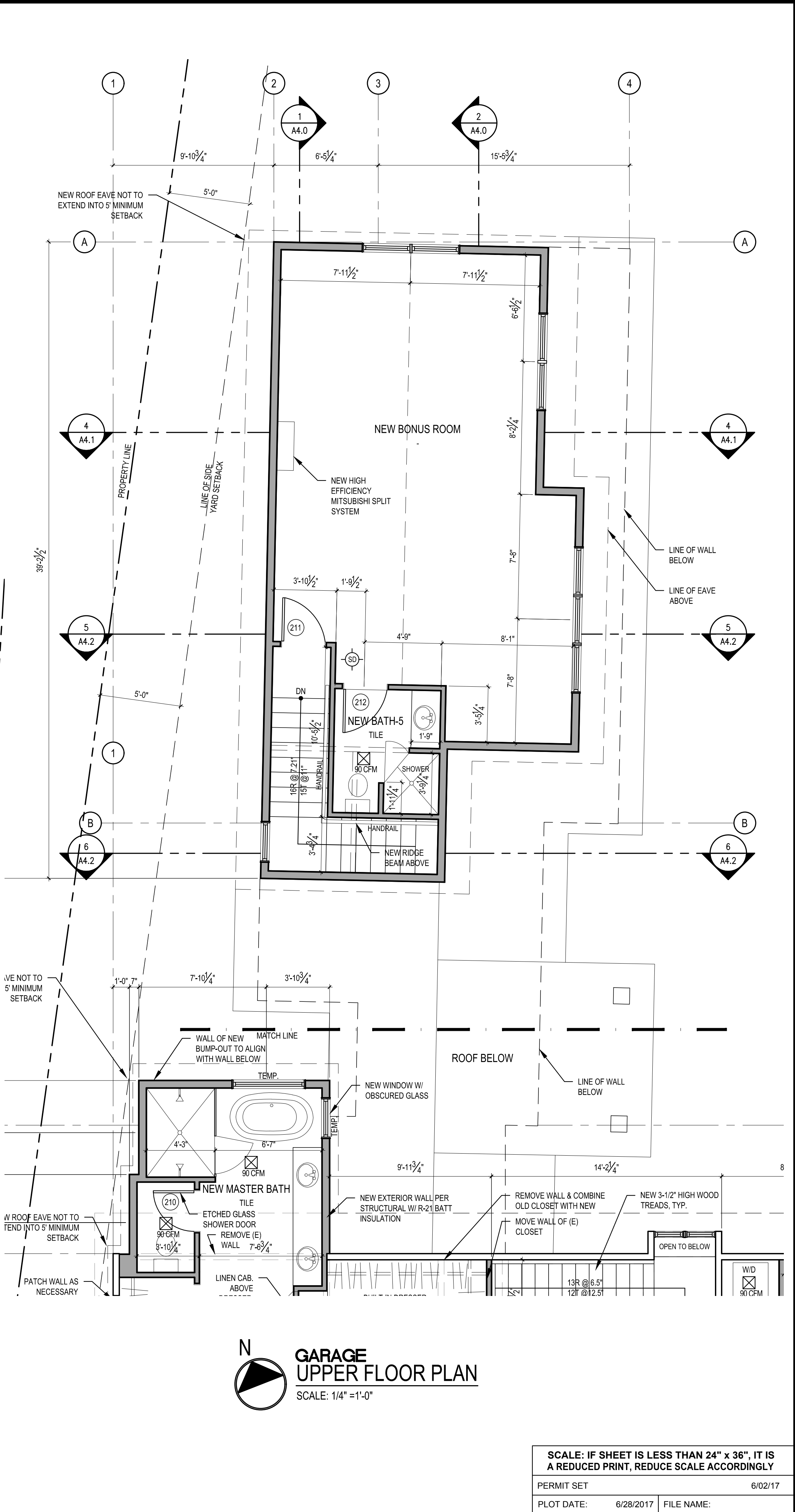
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HOUSE UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



GARAGE UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

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